

# ST. MARGARET MARY PARISH SPIRITUAL CENTER FACILITY IMPROVEMENT PLAN

NO ADDITIONAL RIGHT OF WAY  
REQUIRED FOR THIS PROJECT

CONSTRUCTION OF A XX,XXX SQUARE FOOT SPIRITUAL CENTER REPLACING  
EXISTING BUILDING. INCLUDES ALL UTILITY APPURTENANCES AND ACCESSES  
NECESSARY TO SERVICE PROPOSED SPIRITUAL CENTER.

**FLOODPLAIN NOTE:**  
ENTIRETY OF THIS PROPERTY IS LOCATED IN ZONE X, (AREAS DETERMINED TO  
BE OUTSIDE TO 0.2% ANNUAL CHANCE FLOODPLAIN) PER INFORMATION  
OBTAINED FROM NATIONAL FLOOD INSURANCE RATE MAP NUMBER  
18089C0038E, PANEL NO. 38 OF 480, EFFECTIVE DATE JANUARY 18, 2012.

**WETLAND NOTE:**  
NO WETLANDS ARE INDICATED ON THE SITE PER THE NATIONAL WETLANDS  
INVENTORY.

**PERMANENT BENCHMARK DATA:**  
BENCH 1 - NOTCH SET ON FACE OF CURB APPROX. 9'  
WEST OF EXISTING FIRE HYDRANT  
COORDINATES: EASTING: 2840512.80 NORTHING: 2323990.04  
ELEVATION: 587.20  
DATUM: NAVD88-VERTICAL, NAD83-HORIZONTAL

**TAX NUMBERS**  
SITE IS SITUATED ON THE FOLLOWING PARCEL:  
45-03-30-477-001.000-023

**BASIS OF BEARINGS**

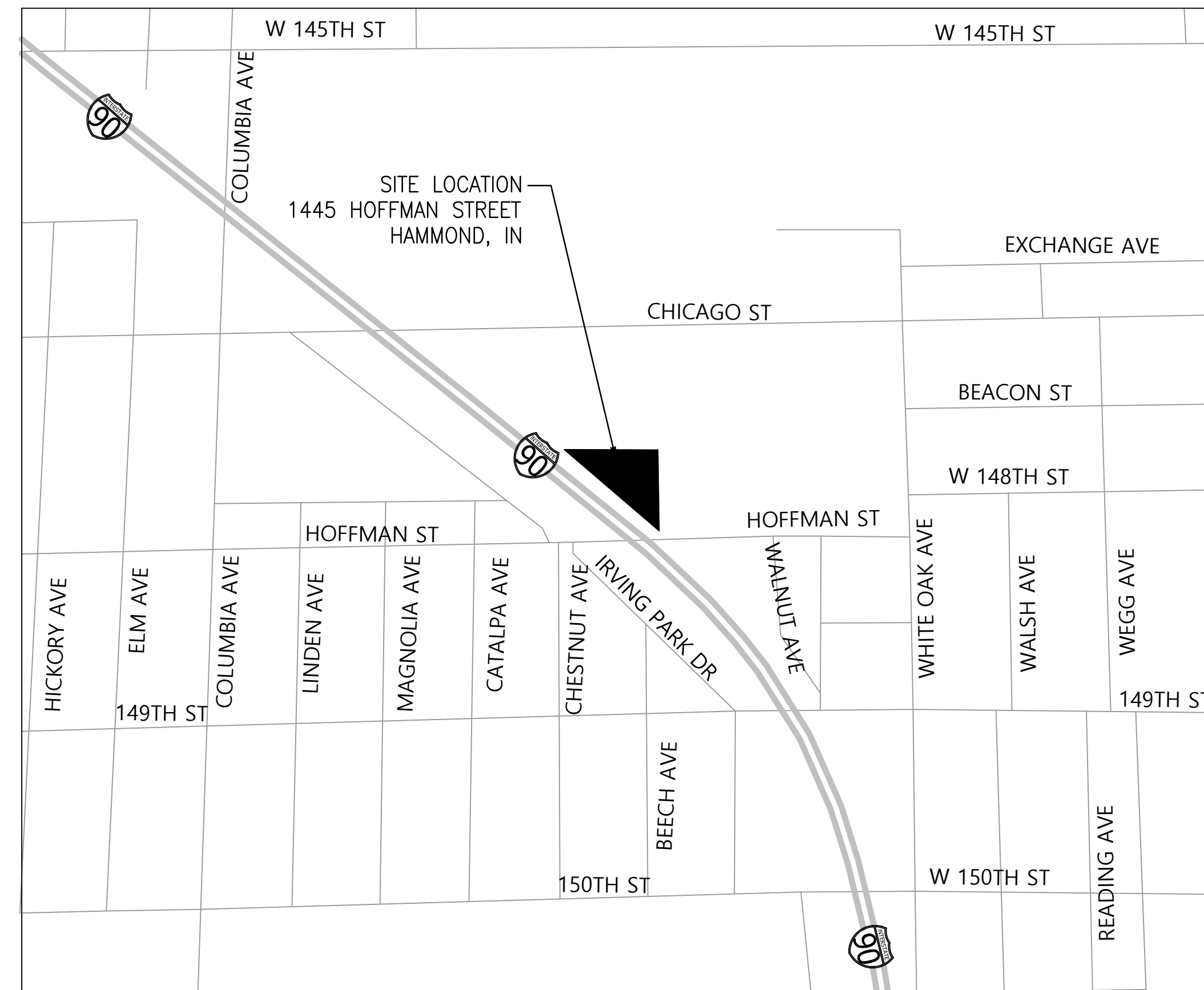
BEARINGS ARE BASED ON THE INDIANA WEST  
STATE PLANE COORDINATE SYSTEM.

**PROJECT OWNER INFORMATION**

OWNER: ST. MARGARET MARY PARISH  
ADDRESS: 1445 HOFFMAN STREET  
HAMMOND, IN 46327  
PHONE: 219-931-5229  
PROJECT ADDRESS: 1445 HOFFMAN STREET  
HAMMOND, IN 46327  
CLIENT PROJECT MANAGER: STEVE MCCOWAN, ARCHITECT

**PROJECT ENGINEER**

ENGINEER: RADTKE ENGINEERING AND SURVEYING, LLC.  
PROJECT MANAGER: JEFFREY J. HAW, PE  
ADDRESS: 5821 NORTH U.S. HIGHWAY 35  
LAPORTE, INDIANA 46350  
PHONE: 219-873-1100  
FAX: 219-873-1006



VICINITY MAP-NOT TO SCALE

SITE LOCATION  
1445 HOFFMAN STREET  
HAMMOND, IN



PROJECT LOCATION SHOWN BY ■  
LAKE COUNTY, INDIANA  
LATITUDE: 41°37'38.74"N LONGITUDE: 87°29'38.93"W

| Sheet List Table |             |  |
|------------------|-------------|--|
| Sheet Number     | Sheet Title | Sheet Description                            |
| 1                | C1.0        | COVER SHEET                                  |
| 2                | C2.0        | EXISTING CONDITIONS & DEMOLITION PLAN        |
| 3                | C3.0        | DIMENSIONAL SITE & UTILITY PLAN              |
| 4                | C4.0        | GRADING & DRAINAGE PLAN                      |
| 5                | C5.0        | SOIL EROSION & SEDIMENTATION CONTROL PLAN    |
| 6                | C6.0        | SOIL EROSION & SEDIMENTATION CONTROL DETAILS |
| 7                | C7.0        | CONSTRUCTION DETAILS                         |

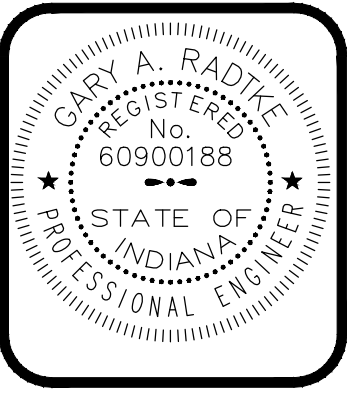
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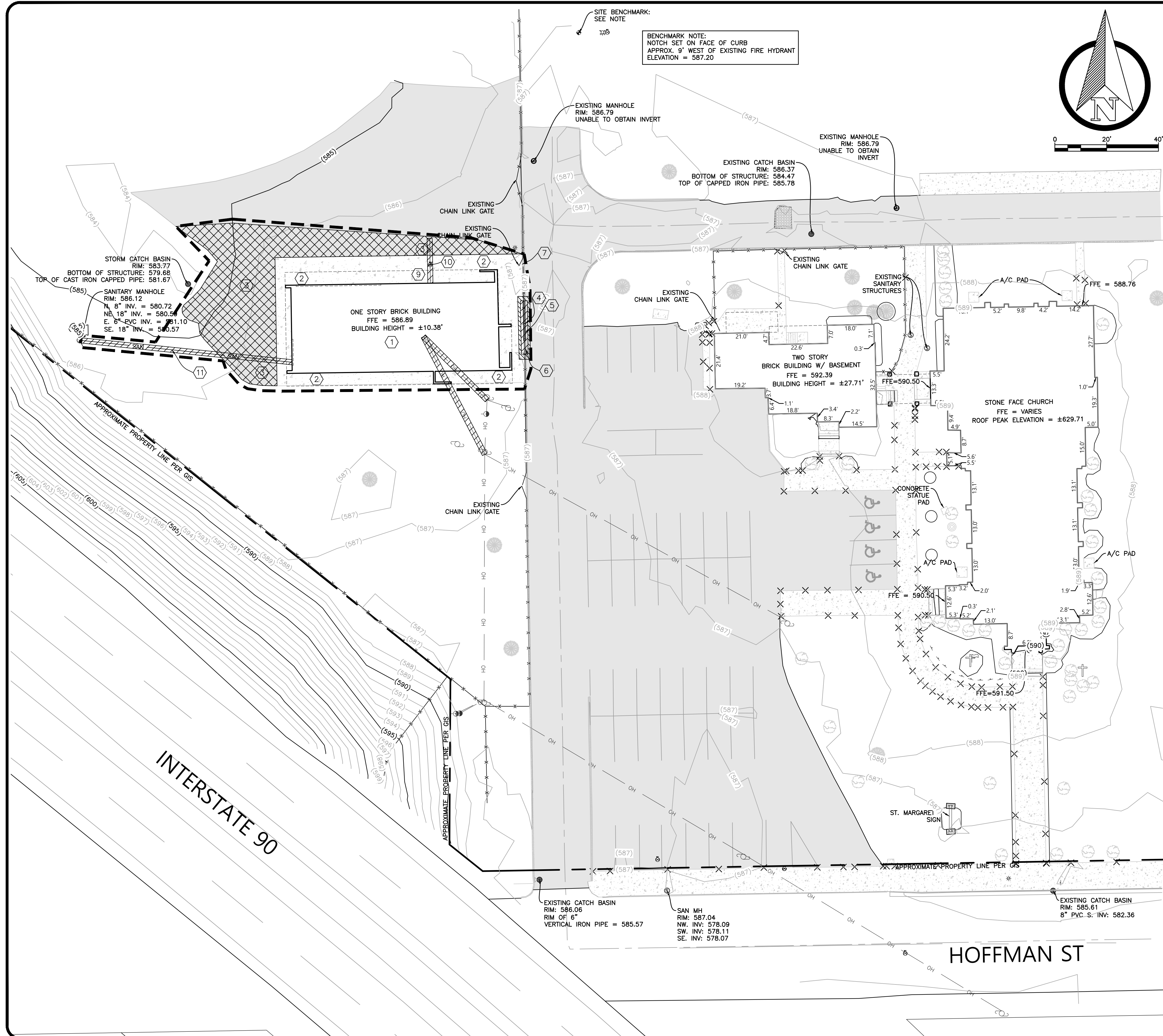
**ST. MARGARET MARY PARISH  
SPIRITUAL CENTER FACILITY IMPROVEMENT PLAN  
1445 HOFFMAN STREET, HAMMOND, IN 46327  
COVER SHEET**

| PROJECT    | DATE       | DESIGN BY | DRAWN BY |
|------------|------------|-----------|----------|
| A019-19013 | 02/09/2019 | JJH       | JJH      |

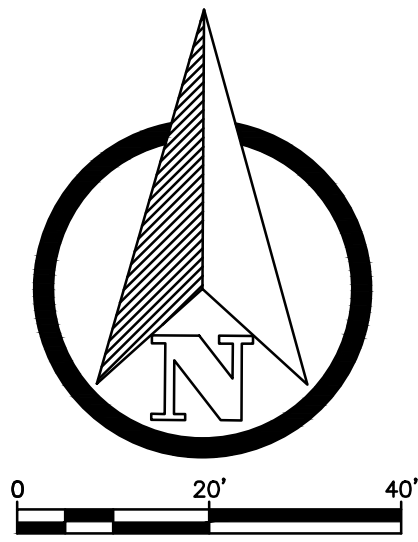


SHEET  
**C1.0**  
SHEET 1 OF 7

HARD COPY IS INTENDED TO BE 24"X36". WHEN PLOTTED, SCALE INDICATED AND GRAPHIC QUALITY MAY NOT BE ACCURATE FOR ANY OTHER SIZES.



BENCHMARK NOTE:  
NOTCH SET ON FACE OF CURB  
APPROX. 9' WEST OF EXISTING FIRE HYDRANT  
ELEVATION = 587.20



**LEGEND**

- EXISTING BUILDING LINE
  - - - EXISTING BUILDING OVERHANG
  - - - EXISTING LANDSCAPE LINE
  - - - EXISTING PARKING LINE
  - x - x - x EXISTING CHAIN LINK FENCE
  - - - (626) EXISTING 1' CONTOUR LINE
  - - - OH EXISTING OVERHEAD POWER LINE
  - - - LIMITS OF DEMOLITION
- 
- ⊙ CATCH BASIN
  - ⊕ UNIDENTIFIED MANHOLE
  - ⊙ SANITARY MANHOLE
  - ⊗ GAS VALVE
  - ⊕ EXISTING FLAG POLE
  - ⊗ WATER VALVE
  - ⊕ WATER HYDRANT
  - ⊙ LIGHT POLE
  - ⊕ SITE BENCHMARK
  - ⊕ STANDING CROSS

**HATCH LEGEND**

- [Hatched Box] EXISTING CONCRETE
- [Hatched Box] EXISTING STONE/GRAVEL
- [Hatched Box] EXISTING ASPHALT

**DEMOLITION NOTES:**

- 1 EXISTING 2755SF ONE STORY BRICK BUILDING TO BE REMOVED IN ITS ENTIRETY.
- 2 ENTIRETY OF EXISTING 2000SF OF CONCRETE PAD SHALL BE REMOVED IN ITS ENTIRETY.
- 3 2420SF OF EXISTING ASPHALT PAVEMENT SHALL BE REMOVED.
- 4 21LF OF EXISTING CURB SHALL BE REMOVED.
- 5 21LF OF EXISTING EDGE OF TRAVEL LANE SHALL BE SAWCUT SMOOTH FOR FUTURE CONNECTION.
- 6 25LF OF EXISTING CHAIN LINK FENCE SHALL BE REMOVED.
- 7 EXISTING CHAIN LINK GATE SHALL BE REMOVED.
- 8 EXISTING OVERHEAD POWER LINE CONNECTIONS SHALL BE REMOVED AT THE SUPPLYING UTILITY POLE - CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY SUPPLIER FOR REMOVAL.
- 9 EXISTING WATER CONNECTION SHALL BE REMOVED - LOCATION SHOWN IS AN APPROXIMATION ONLY - CONTRACTOR SHALL COORDINATE EXACT LOCATION OF EXISTING WATER LATERAL CONNECTION DURING DEMOLITION.
- 10 EXISTING WATER VALVE SHALL BE RELOCATED - SEE SHEET 3 FOR PROPOSAL WATER VALVE LOCATION.
- 11 EXISTING SANITARY SEWER LATERAL SHALL BE REMOVED TO CONNECTION POINT AT EXISTING SANITARY SEWER MANHOLE - LOCATION SHOWN IS AN APPROXIMATION ONLY - CONTRACTOR SHALL COORDINATE EXACT LOCATION OF EXISTING SANITARY LATERAL CONNECTION DURING DEMOLITION - LATERAL OPENING IN MANHOLE SHALL BE PLUGGED TEMPORARILY FOR FUTURE CONNECTION.

**GENERAL DEMOLITION AND REMOVAL NOTES:**

1. ITEMS OF SITE DEMOLITION SHALL BE GOVERNED BY THE APPLICABLE PROVISIONS OF THE CITY OF HAMMOND.
2. REGULATORY REQUIREMENTS
- a. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED FOR DEMOLITION, PAYING ALL SPECIFIED FEES.
- b. CONFORM TO ALL APPLICABLE CODES AND REGULATIONS FOR DEMOLITION, SAFETY OF ADJACENT STRUCTURES, DUST CONTROL, RUNOFF CONTROL AND DISPOSAL OF DEBRIS.
- c. NOTIFY AFFECTED UTILITY COMPANIES BEFORE STARTING WORK AND COMPLY WITH THEIR REQUIREMENTS.
- d. DO NOT CLOSE OR OBSTRUCT ROADWAYS AND FIRE HYDRANTS WITHOUT PERMITS.
- e. CONFORM TO APPLICABLE REGULATORY PROCEDURES WHEN DISCOVERING HAZARDOUS MATERIALS OR CONTAMINATED MATERIALS.
3. DEMOLITION REQUIREMENTS
- a. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT ITEMS.
- b. CEASE OPERATIONS IMMEDIATELY IF ADJACENT STRUCTURES APPEAR TO BE IN DANGER. DO NOT RESUME OPERATIONS UNTIL DIRECTED.
4. DEMOLITION
- a. SEE THE SITE UTILITY PLAN FOR CONNECTIONS AND NEW LOCATIONS OF THE EXISTING UTILITIES ON THE SITE. COORDINATE ALL RELOCATIONS AND INTERRUPTION OF SERVICE WITH APPROPRIATE UTILITY COMPANY. ALLOW ADEQUATE TIME FOR SCHEDULING.
- b. BACKFILL AREAS EXCAVATED AND ANY OPEN PITS AND HOLES CAUSED AS A RESULT OF DEMOLITION WITH PIT RUN SAND AND GRAVEL.
- c. ROUGH GRADE AND COMPACT AREAS AFFECTED BY DEMOLITION TO MAINTAIN SITE GRADES AND CONTOURS. PROVIDE POSITIVE DRAINAGE.
- d. REMOVE DEMOLISHED MATERIALS FROM SITE AND LEGALLY DISPOSE OF AT A SITE TO BE ARRANGED FOR BY CONTRACTOR.
- e. DO NOT BURN OR BURY MATERIALS ON SITE. LEAVE SITE IN CLEAN CONDITION.
5. PROVIDE FULL DEPTH SAW CUTS AT EDGES OF EXISTING PAVEMENT AND SIDEWALK REMOVAL LOCATIONS.

**LOCAL UTILITY PROVIDERS**

UNDERGROUND WATER, GAS, TELEPHONE, SEWER, AND ELECTRICAL UTILITY INFORMATION SHOWN ON THIS PLAN WAS COMPILED FROM PREVIOUS SITE PLANS, UTILITY COMPANY MAPS, AND FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS MANHOLES, VALVES, JUNCTION BOXES, ET CETERA. IN ALL CASES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES THAT MAY AFFECT HIS WORK PRIOR TO ANY ON-SITE CONSTRUCTION.

| NO. | REVISION | DATE |
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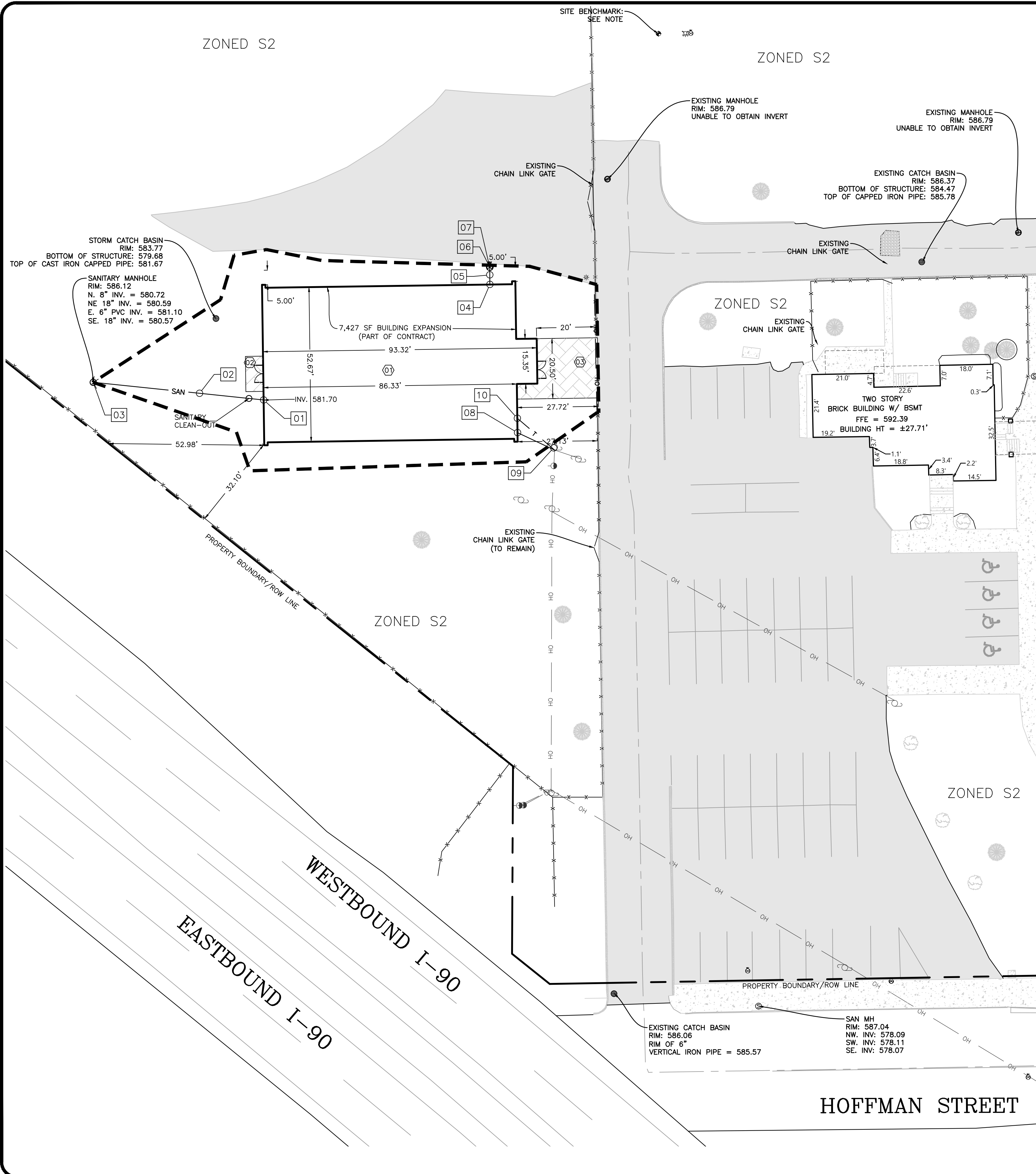
**ST. MARGARET MARY PARISH**  
SPIRITUAL CENTER FACILITY IMPROVEMENT PLAN  
1445 HOFFMAN STREET, HAMMOND, IN 46327  
EXISTING CONDITIONS & DEMOLITION PLAN

|                       |                    |                   |                  |
|-----------------------|--------------------|-------------------|------------------|
| PROJECT<br>A019-19013 | DATE<br>02/05/2019 | DESIGN BY<br>J/JH | DRAWN BY<br>J/JH |
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SHEET  
**C2.0**  
SHEET 2 OF 7

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**SITE DATA**

PARCEL ID: 45-03-30-477-001,000-023  
 SITE OWNER: GARY ROMAN CATHOLIC DIOCESE  
 SITE ADDRESS: 1434 HOFFMAN STREET, HAMMOND, IN 46327  
 ZONING INFORMATION (PER CITY OF HAMMOND ZONING MAP, PLANNING DISTRICT 2)  
 PROPOSED USE: PLACE OF WORSHIP  
 CURRENT ZONING: S2 - INSTITUTIONAL DISTRICT  
 FUTURE ZONING: S2 - INSTITUTIONAL DISTRICT  
 MIN. LOT AREA: REQUIRED: 1 ACRE PROVIDED: 19.2 ACRES  
 MIN. BLDG. SETBACKS: REQUIRED PROVIDED  
 FRONT: 20' 20'  
 SIDE: 20' 32'  
 REAR: 20' 53'  
 MAX. BUILD HEIGHT: REQUIRED: 35' PROVIDED: 35'  
 FIRST FLOOR AREA: 4,654 SF  
 SECOND FLOOR AREA: 2,773 SF  
 TOTAL FLOOR AREA: 7,427 SF

**PARKING CALCULATIONS**

ZONING DISTRICT: S2  
 USE: PLACE OF WORSHIP  
 REQUIRED PARKING:  
 PLACE OF WORSHIP: 1 SPACE PER EACH 6 SEATS OR FOR EACH 108 INCHES SEATING SPACE  
 TOTAL REQUIRED SPACES: XX SPACES  
 PROVIDED PARKING:  
 REQUIRED PARKING SHALL BE PROVIDED AS PART OF A SHARED PARKING MASTER PLAN COORDINATED BETWEEN ST. MARGARET MARY CHURCH, BISHOP NOLL SCHOOL AND THE CITY OF HAMMOND. PROVISION FOR REQUIRED PARKING IS NOT PART OF THE SCOPE OF THIS PROJECT.

**SITE PLAN CONSTRUCTION NOTES**

- 01 7,427SF (TWO FLOORS) WORSHIP CENTER (SEE ARCHITECTURAL DRAWINGS), INSTALLED BY CONTRACTOR
- 02 725F 4000 PSI CONCRETE PAD, INSTALLED BY CONTRACTOR - SEE SHEET CX.0 FOR ADDITIONAL DETAIL.
- 03 470SF 4000 PSI CONCRETE, ADA-COMPLIANT PEDESTRIAN ACCESS RAMP, INSTALLED BY CONTRACTOR - SEE SHEET CX.0 FOR ADDITIONAL DETAIL.

**UTILITY PLAN CONSTRUCTION NOTES**

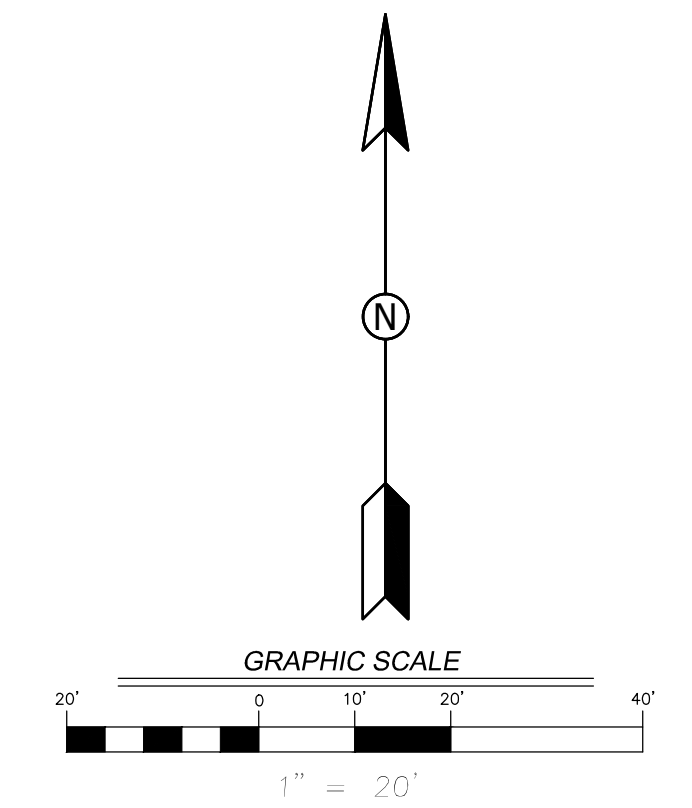
- 01 CONTRACTOR TO COORDINATE CONNECTION POINT OF 6" BUILDING SANITARY SEWER SERVICE WITH BUILDING PLUMBER (4.00' MIN. BELOW FF).
- 02 CONTRACTOR TO INSTALL 60 LINEAR FEET OF 6" SDR-35 @ 1.00% PLASTIC SANITARY SEWER LATERAL
- 03 CONTRACTOR TO COORDINATE CONNECTION POINT OF 6" SANITARY SEWER SERVICE WITH EXISTING SANITARY MANHOLE LOCATION. INVERT AT CONNECTION POINT IS 581.10.
- 04 CONTRACTOR TO COORDINATE CONNECTION POINT OF 6" COMBINED WATER SERVICE LINE WITH BUILDING PLUMBER.
- 05 CONTRACTOR TO INSTALL 625 LINEAR FEET OF 6" C900 HDPE WATER SERVICE FROM BUILDING TO CONNECTION POINT AT EXISTING WATER MAIN.
- 06 CONTRACTOR TO RELOCATE EXISTING WATER VALVE TO PROPOSED VALVE LOCATION.
- 07 CONTRACTOR TO CONNECT 6" C900 HDPE SERVICE LINE TO EXISTING WATER MAIN.
- 08 CONTRACTOR TO CONNECT AND/OR COORDINATE CONNECTION OF OVERHEAD ELECTRIC SERVICE TO BUILDING.
- 09 CONTRACTOR TO INSTALL AND/OR COORDINATE INSTALLATION OF ELECTRIC, TELEPHONE AND CABLE SERVICES AT CONNECTION POINT REQUIRED BY SERVICE PROVIDER. (PERMIT REQUIRED FROM INDOT FOR CONNECTION/S IN ROW)
- 10 CONTRACTOR TO CONNECT AND/OR COORDINATE CONNECTION OF TELEPHONE SERVICE TO BUILDING.

CALL "811, ONE CALL" PROTECTION SERVICE (2) DAYS PRIOR TO ANY DIGGING  
 NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY FOR CONTACTING "ONE CALL" PRIOR TO ANY DEMOLITION OR CONSTRUCTION BEGINS.

NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITIES, VAULTS, UNDERGROUND STRUCTURES, ETC. BEFORE DEMOLITION OR CONSTRUCTION BEGINS. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR/REPLACE ANY DAMAGED UTILITIES, STRUCTURES, ETC. DURING DEMOLITION AND CONSTRUCTION.

**LOCAL UTILITY PROVIDERS**

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**LEGEND**

- EXISTING BUILDING LINE
- - - - EXISTING BUILDING OVERHANG
- - - - EXISTING LANDSCAPE LINE
- - - - EXISTING PARKING LINE
- x - x - x EXISTING CHAIN LINK FENCE
- (626) EXISTING 1' CONTOUR LINE
- OH OH OH EXISTING OVERHEAD POWER LINE
- SAN PROPOSED SANITARY LATERAL
- (W) (W) (W) PROPOSED WATER SERVICE
- T T T T PROPOSED TELEPHONE SERVICE
- OH OH OH PROPOSED OVERHEAD POWER LINE
- - - - LIMITS OF CONSTRUCTION

- ⊙ CATCH BASIN
- ⊕ UNIDENTIFIED MANHOLE
- ⊙ SANITARY MANHOLE
- ⊕ GAS VALVE
- ⊕ SIGN
- ⊕ EXISTING FLAG POLE
- ⊕ WATER VALVE
- ⊕ WATER HYDRANT
- ⊕ LIGHT POLE
- ⊕ SITE BENCHMARK
- ⊕ STANDING CROSS

**HATCH LEGEND**

- [Pattern] EXISTING CONCRETE
- [Pattern] EXISTING STONE/GRAVEL
- [Pattern] EXISTING ASPHALT
- [Pattern] PROPOSED CONCRETE

**PERMANENT BENCHMARK DATA:**  
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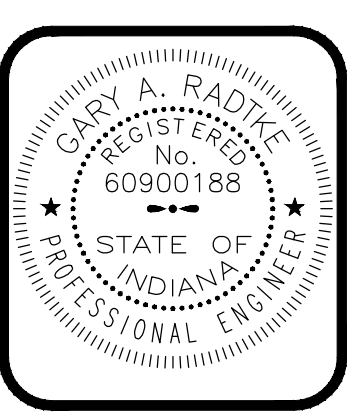
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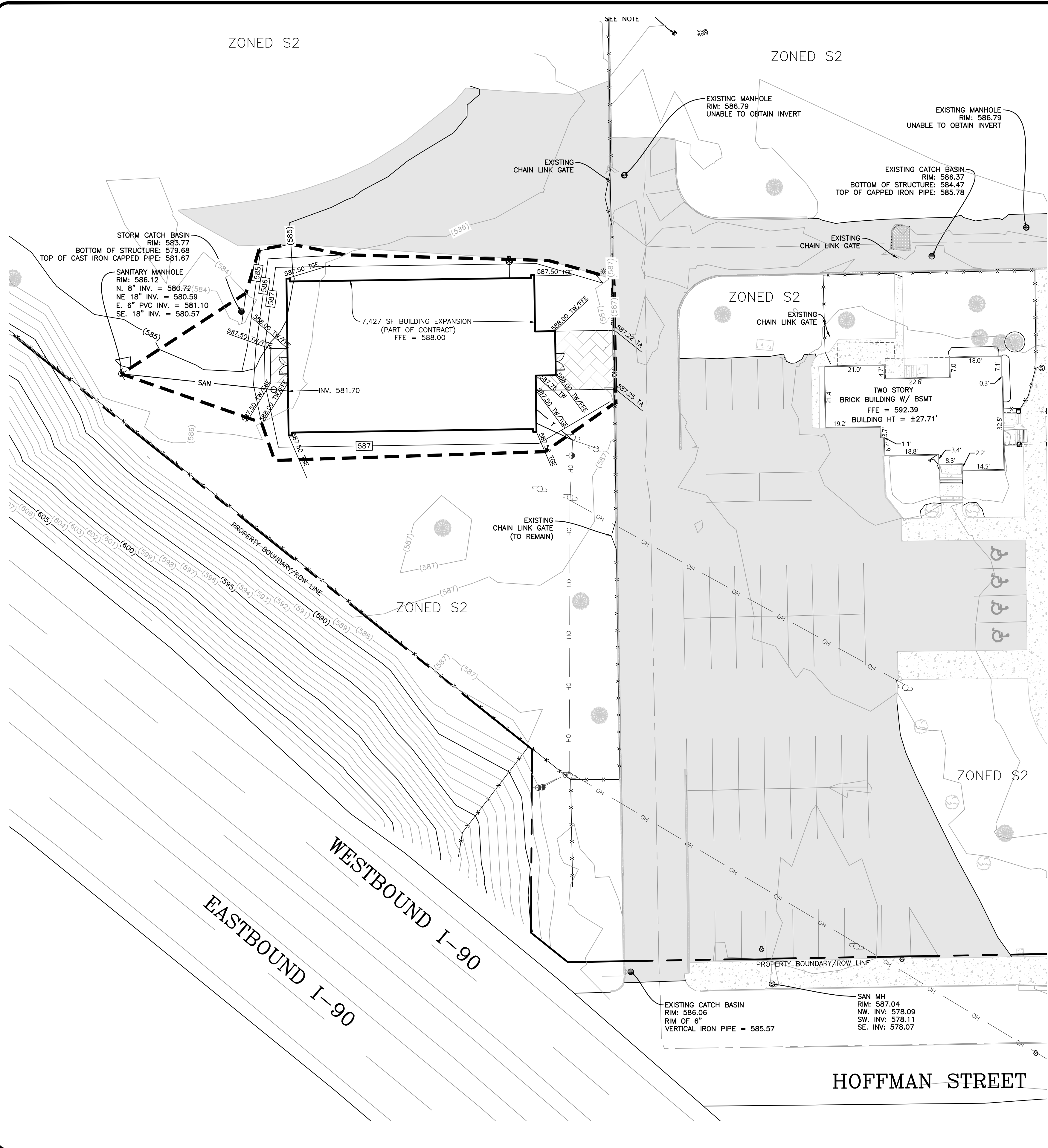
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 DIMENSIONED SITE & UTILITY PLAN

|                       |                    |                  |                 |
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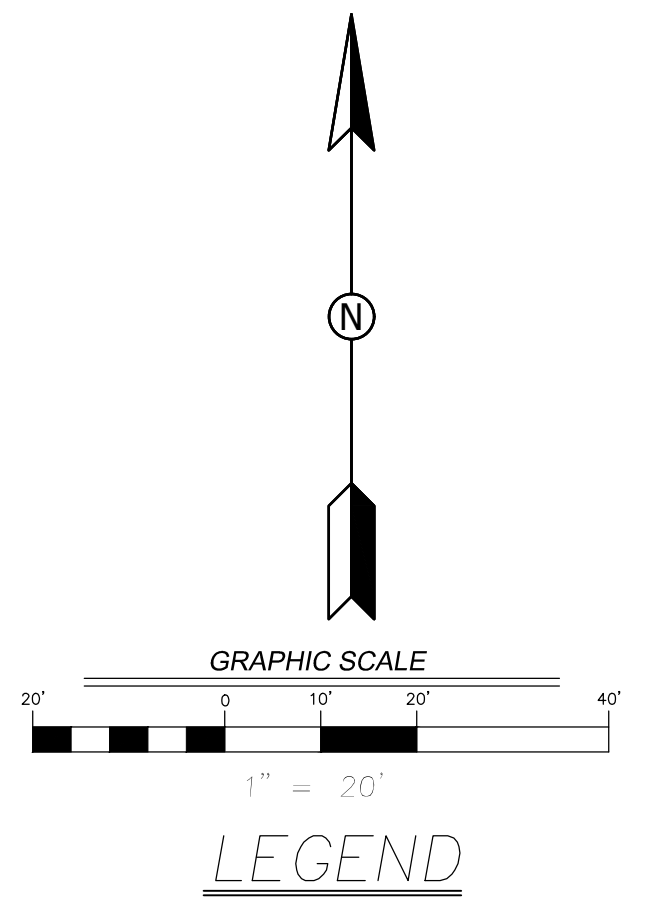


SHEET  
**C3.0**  
 SHEET 3 OF 7

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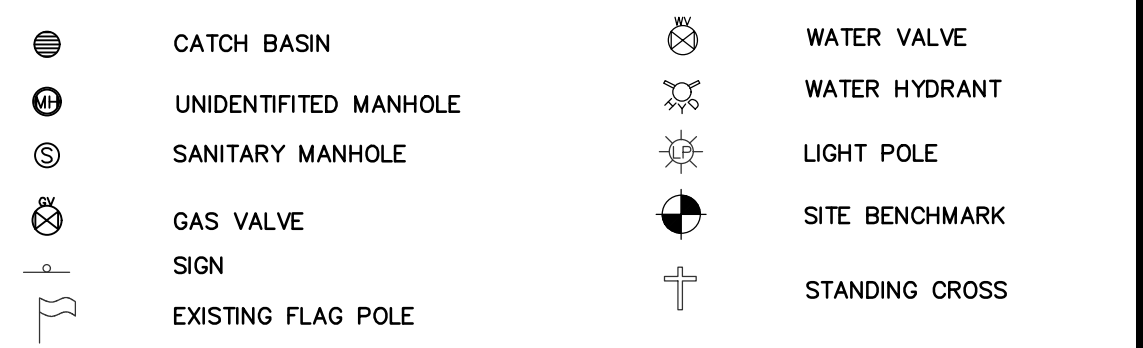
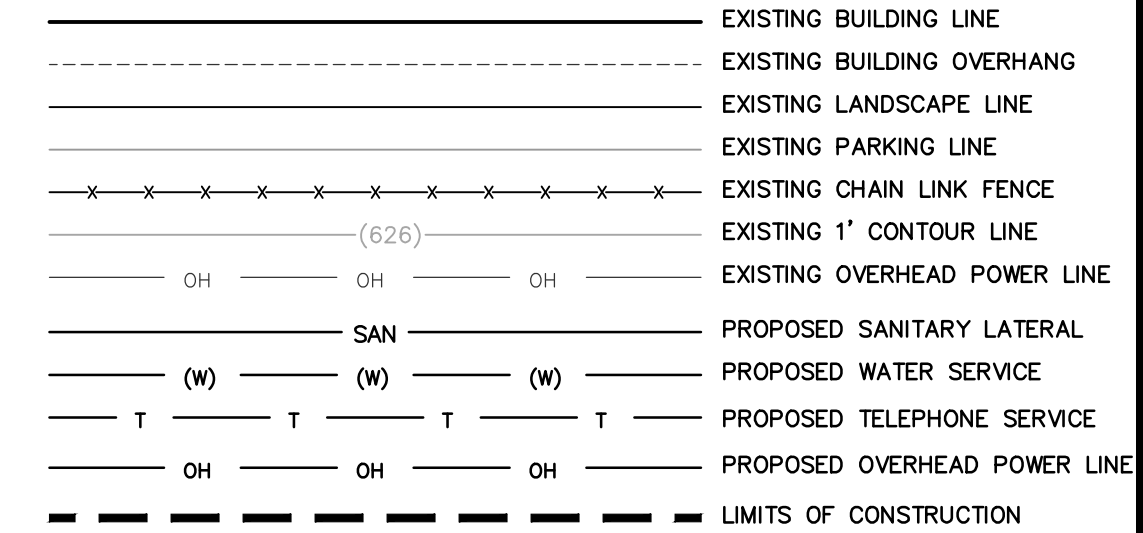
**STRIPPING AND COMPACTION SCHEDULE**  
 Topsoil stripping depth 2"-3" average. Deeper if required locally.  
 Required compaction percentages (% max dry density)  
 Standard Proctor Method ASTM Test # D-698  
 Building Area: 98 % Parking Area: 98 %  
**TESTING** (to be paid for by contractor):  
 Allow 1 compaction test per ea. 2500 S.F. (Max 50' x 50' area) per lift at building areas.  
 Allow 1 compaction test per each 10,000 S.F. of cut or natural grade at building area.  
 Allow 1 compaction test per ea. 5500 S.F. (Max 75' x 75' area) per lift at parking area.  
 Allow 1 compaction test per each 40,000 S.F. of cut or natural grade at parking area.  
 Maximum loose lift thickness shall be 8", unless noted otherwise.

**NOTES:**  
 ALL STORM PIPING SHALL BE RCP, UNLESS OTHERWISE NOTED.

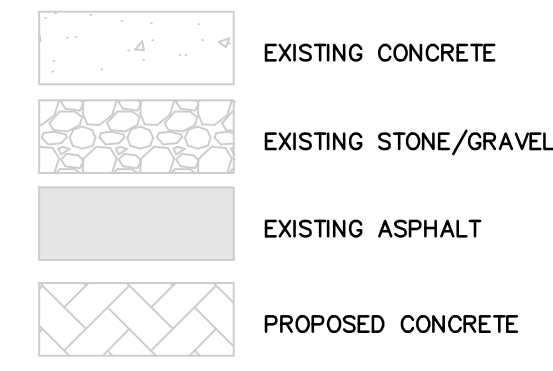
**GRASSING SCHEDULE**  
 SEEDING WITHOUT MULCH - FEBRUARY 2 - APRIL 30  
 SEEDING WITH MULCH - AUGUST 16 - OCTOBER 15  
 MAY 1 - AUGUST 15

Grass seed shall be as follows:  
 INDOT SEED MIXTURE U  
 4-WAY BLEND OF TURF TYPE TALL FESCUE  
 65 LB/AC  
 JASPER RED FESCUE  
 20 LB/AC  
 FINE BALDED PERENNIAL RYE GRASS  
 35 LB/AC  
 FERTILIZER: .8000 LB/AC 12/12/12  
 MULCH: . . . STRAW-2 TONS/AC (CRIMPED)  
 EROSION CONTROL NET OR MULCH BINDER ON SLOPES.

- Planting shall be complete on all areas not receive paving or be built upon within 14 working days of completion of grading.



**HATCH LEGEND**



**SITE GRADING, DRAINAGE & REFERENCE LEGEND**  
 MARK REFERENCED ITEM  
 FGE FINISHED GRADE ELEVATION  
 TWALL TOP OF RETAINING WALL  
 FFE FINISHED FLOOR ELEVATION  
 INV INVERT ELEVATION  
 RCP REINFORCED CONCRETE PIPE  
 TW TOP OF SIDEWALK

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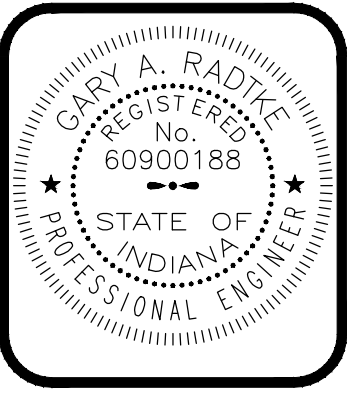
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**Radtke Engineering And Surveying, LLC.**  
 5821 North U.S. Hwy 35 La Porte, IN 46350  
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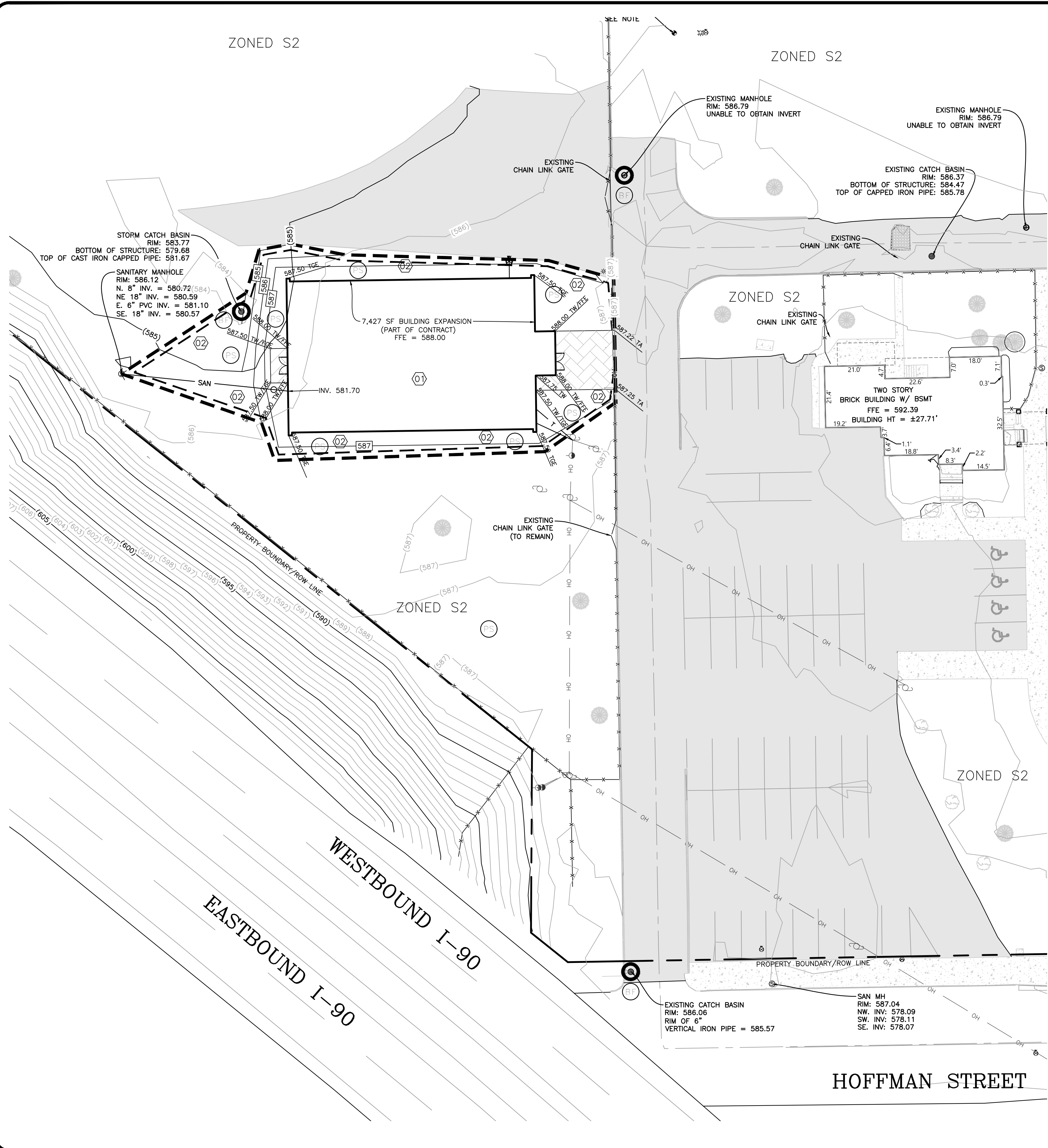
**ST. MARGARET MARY PARISH**  
 SPIRITUAL CENTER FACILITY IMPROVEMENT PLAN  
 1445 HOFFMAN STREET, HAMMOND, IN 46327  
**GRADING & DRAINAGE PLAN**

|            |            |
|------------|------------|
| PROJECT    | A01B-19013 |
| DATE       | 02/09/2019 |
| DESIGN BY: | JJH        |
| DRAWN BY:  | JJH        |

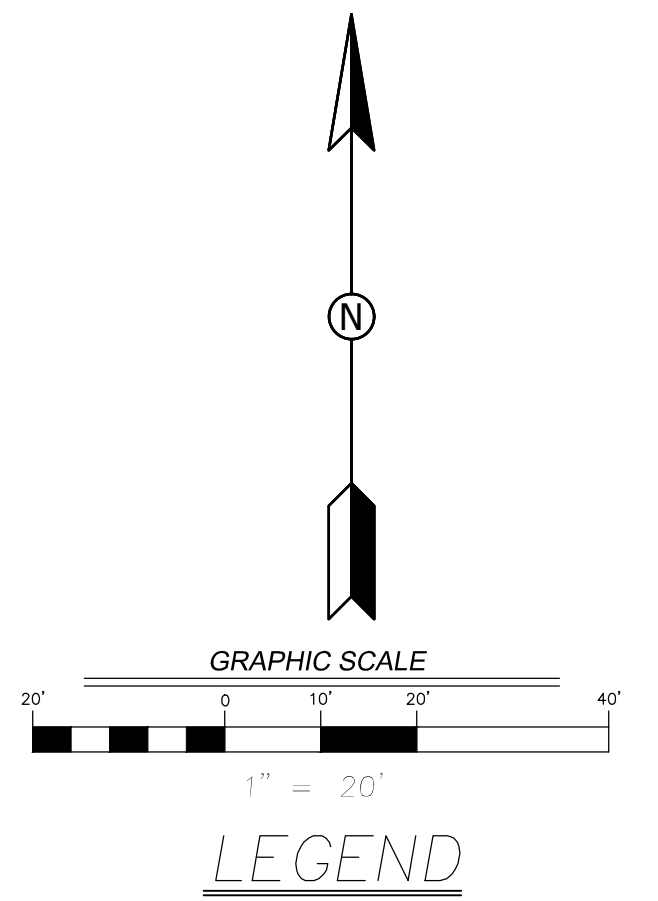


SHEET  
**C4.0**  
 SHEET 4 OF 7

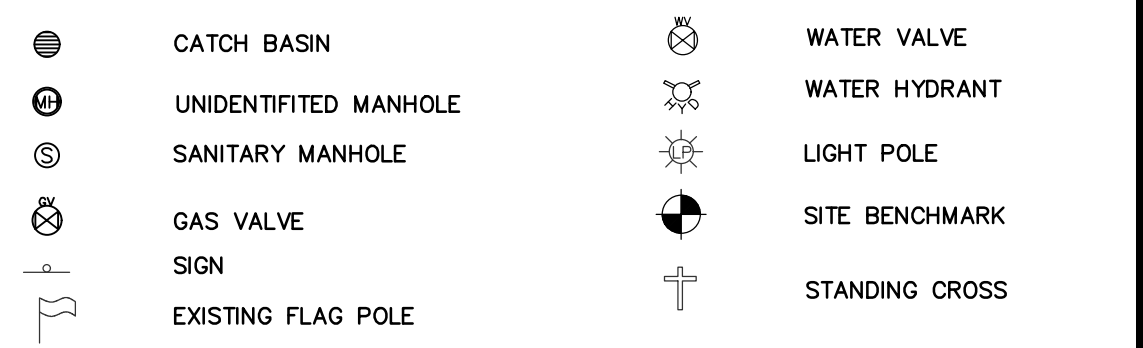
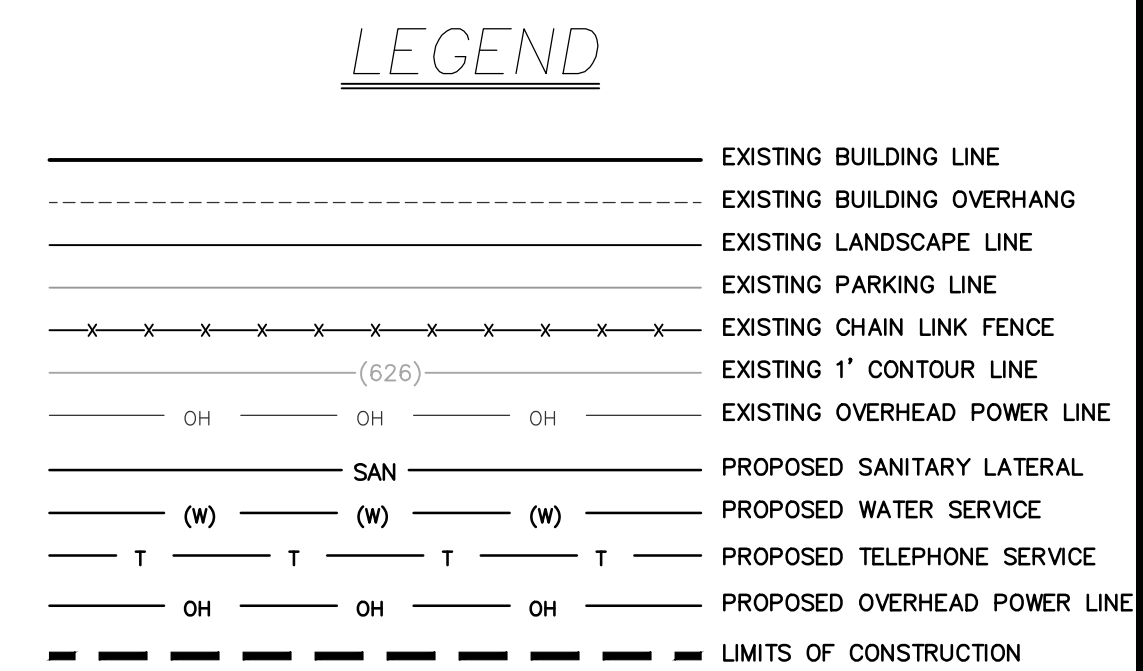
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**SITE DATA**  
 PARCEL ID: 45-03-30-477-001.000-023  
 SITE OWNER: GARY ROMAN CATHOLIC DIOCESE  
 SITE ADDRESS: 1434 HOFFMAN STREET, HAMMOND, IN 46327  
 ZONING INFORMATION (PER CITY OF HAMMOND ZONING MAP, PLANNING DISTRICT 2)  
 PROPOSED USE: PLACE OF WORSHIP  
 CURRENT ZONING: S2 - INSTITUTIONAL DISTRICT  
 FUTURE ZONING: S2 - INSTITUTIONAL DISTRICT  
 MIN. LOT AREA: REQUIRED: 1 ACRE PROVIDED: 19.2 ACRES  
 MIN. BLDG. SETBACKS: REQUIRED PROVIDED  
 FRONT: 20' 20'  
 SIDE: 20' 32'  
 REAR: 20' 53'  
 MAX. BUILD HEIGHT: REQUIRED: 35' PROVIDED: 35'  
 FIRST FLOOR AREA: 4,654 SF  
 SECOND FLOOR AREA: 2,773 SF  
 TOTAL FLOOR AREA: 7,427 SF

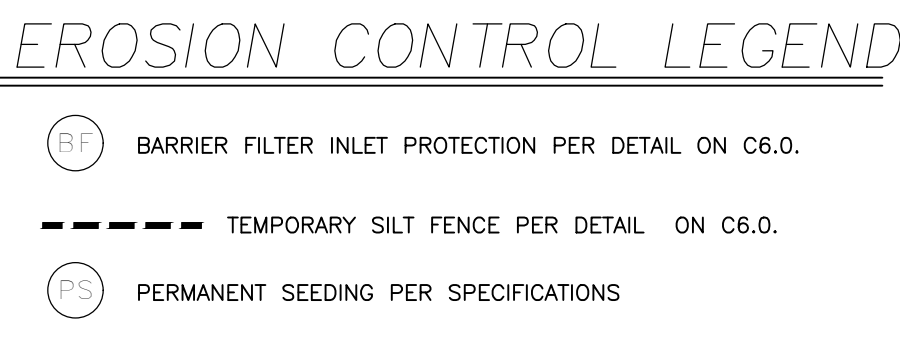


- GENERAL EROSION CONTROL NOTES**
- THE SEDIMENTATION CONTROL MEASURES DEPICTED ON THIS PLAN ARE FOR TEMPORARY CONTROL DURING CONSTRUCTION OF THE BUILDINGS, PONDS, SWALES, ROADWAYS, AND OTHER GENERAL EXCAVATION REQUIRED FOR THIS DEVELOPMENT. PERMANENT MEASURES TO INHIBIT EROSION ARE AS FOLLOWS:
    - HYDROSEEDING, SODDING, OR MECHANICAL SEEDING OF ALL POND AND SWALE SIDE SLOPES DURING THE GROWING SEASON.
    - PLACEMENT OF PERMANENT LANDSCAPING FEATURES, SUCH AS GRASSCOVER, TREES, AND SHRUBS IN ACCORDANCE WITH THE LANDSCAPE PLAN AFTER SITE EXCAVATION IS COMPLETED AND FINAL GRADE IS ESTABLISHED.
  - EROSION FROM ALL TEMPORARY SOIL STORAGE PILES SHALL BE CONTROLLED BY PLACING STRAW BALES, FILTER FENCE, AND/OR OTHER APPROPRIATE MEANS OF SEDIMENTATION CONTROL AROUND THESE STORAGE FACILITIES.
  - EXCEPT AS PREVENTED BY INCLEMENT WEATHER CONDITIONS OR OTHER CONDITIONS OR CIRCUMSTANCES BEYOND CONTROL, APPROPRIATE VEGETATIVE SEDIMENTATION CONTROL PRACTICES SHALL BE INITIATED WITHIN SEVEN (7) DAYS OF THE LAST LAND DISTURBING ACTIVITY AT THE SITE. APPROPRIATE VEGETATIVE PRACTICES INCLUDE, BUT ARE NOT LIMITED TO, SEEDING, SODDING, MULCHING, COVERING, OR OTHER EROSION CONTROL MEASURES.
  - SEDIMENT ACCUMULATION ONTO OFF SITE ROADWAYS SHALL BE MINIMIZED, AND WHERE NECESSARY, KEPT CLEARED PERIODICALLY. BULK CLEARING OF ACCUMULATED SEDIMENT SHALL BE RETURNED TO THE POINT OF LIKELY ORIGIN OR OTHER SUITABLE ON SITE LOCATION.
  - APPROPRIATE MEASURES SHALL BE TAKEN TO MINIMIZE OR ELIMINATE WASTES, UNUSED BUILDING MATERIALS, AND/OR OTHER SUBSTANCES FROM BEING CARRIED FROM THE SITE BY STORMWATER RUNOFF. PROPER DISPOSAL OR MANAGEMENT OF ALL WASTES, APPROPRIATE TO THE NATURE OF THE WASTE, IS REQUIRED.
  - SEE SEDIMENTATION CONTROL DETAILS FOR ACCEPTABLE METHODS OF INSTALLATION OF EROSION CONTROL STRUCTURES.
  - SEE SEASONAL SOIL PROTECTION CHART FOR SUGGESTED SCHEDULE OF VEGETATIVE SOIL STABILIZATION METHODS.
  - CONSTRUCTION ACTIVITY FOR BUILDING AND GRADING TO BEGIN IN 2019.
  - EXISTING VEGETATION, TREES AND SCRUB, TO BE REMOVED.
  - SCHEDULE OF ALL EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AND MAINTAINED WEEKLY DURING EACH PHASE OF CONSTRUCTION.
  - CONTRACTOR TO MAINTAIN SILT FENCE AROUND BUILDING DURING CONSTRUCTION AND INSTALL PERMANENT SEEDING WHEN COMPLETE.



**SITE EROSION CONTROL NOTES**

- TOTAL SITE DISTURBED AREA: 10,000 SF (0.23 ACRES)
- NEW SILT FENCE INSTALLED BY GC. SEE DETAIL ON SHEET C6.0.



CALL "811, ONE CALL" PROTECTION SERVICE  
 (2) DAYS PRIOR TO ANY DIGGING  
 NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY FOR CONTACTING "ONE CALL" PRIOR TO ANY DEMOLITION OR CONSTRUCTION BEGINS.  
 NOTE: IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL UTILITIES, VAULTS, UNDERGROUND STRUCTURES, ETC. BEFORE DEMOLITION OR CONSTRUCTION BEGINS. IT IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR/REPLACE ANY DAMAGED UTILITIES, STRUCTURES, ETC. DURING DEMOLITION AND CONSTRUCTION.

**LOCAL UTILITY PROVIDERS**  
 UNDERGROUND WATER, GAS, TELEPHONE, SEWER, AND ELECTRICAL UTILITY INFORMATION SHOWN ON THIS PLAN WAS COMPILED FROM PREVIOUS SITE PLANS, UTILITY COMPANY MAPS, AND FIELD LOCATION OF VISIBLE STRUCTURES SUCH AS MANHOLES, VALVES, JUNCTION BOXES, ET CETERA. IN ALL CASES, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ANY UNDERGROUND UTILITIES THAT MAY AFFECT HIS WORK PRIOR TO ANY ON-SITE CONSTRUCTION.

**SEASONAL SOIL PROTECTION CHART**

| STABILIZATION PRACTICE | JAN. | FEB. | MAR. | APR. | MAY | JUN. | JUL. | AUG. | SEPT. | OCT. | NOV. | DEC. |
|------------------------|------|------|------|------|-----|------|------|------|-------|------|------|------|
| PERMANENT SEEDING      |      |      | 1    |      |     |      |      |      | 2     |      |      |      |
| DORMANT SEEDING        | 3    |      |      |      |     |      |      |      |       |      | 3    |      |
| TEMPORARY SEEDING      |      |      | 4    |      | 1   |      | 2    |      |       |      |      |      |
| SODDING                |      |      | 5    |      | 6   |      |      |      |       |      |      |      |
| MULCHING               |      |      | 7    |      |     |      |      |      |       |      |      |      |

DESIGNATIONS DESCRIPTIONS  
 1 = OPTIMAL PLANTING PERIOD FOR MOST TURF MIXES WHEN PROPERLY FERTILIZED, HYDRO-MULCHED, OR STRAW MULCHED.  
 2 = 60% BLUEGRASS, 30% CREEPING FESCUE, 10% PERENNIAL RYEGRASS  
 3 = SEED ONLY WHEN GERMINATION CANNOT OCCUR AND INCREASE SEEDING RATES BY 25% DURING THIS PERIOD.  
 4 = ANNUAL RYEGRASS 50 LB. PER ACRE  
 5 = SPRING OATS 3 BU. PER ACRE.  
 6 = WHEAT OR RYE 2 BU. PER ACRE.  
 7 = SOD  
 8 = STRAW MULCH 2 TON PER ACRE = IRRIGATION NEEDED 2-3 WEEKS AFTER INSTALLATION DURING THIS PERIOD. IRRIGATE ALL PLANTINGS IF INSTALLED DURING JUNE, JULY, & SEPT.

**PERMANENT BENCHMARK DATA:**  
 BENCH 1 - NOTCH SET ON FACE OF CURB APPROX. 9' WEST OF EXISTING FIRE HYDRANT  
 COORDINATES: EASTING: 2840512.80 NORTHING: 2323990.04  
 ELEVATION: 587.20  
 DATUM: NAVD88-VERTICAL, NAD83-HORIZONTAL

**FLOODPLAIN NOTE:**  
 ENTIRETY OF THIS PROPERTY IS LOCATED IN ZONE X, (AREAS DETERMINED TO BE OUTSIDE TO 0.2% ANNUAL CHANCE FLOODPLAIN) PER INFORMATION OBTAINED FROM NATIONAL FLOOD INSURANCE RATE MAP NUMBER 18089C0038E, PANEL NO. 38 OF 480, EFFECTIVE DATE JANUARY 18, 2012.

**WETLAND NOTE:**  
 NO WETLANDS ARE INDICATED ON THE SITE PER THE NATIONAL WETLANDS INVENTORY.

| REVISION | DATE |
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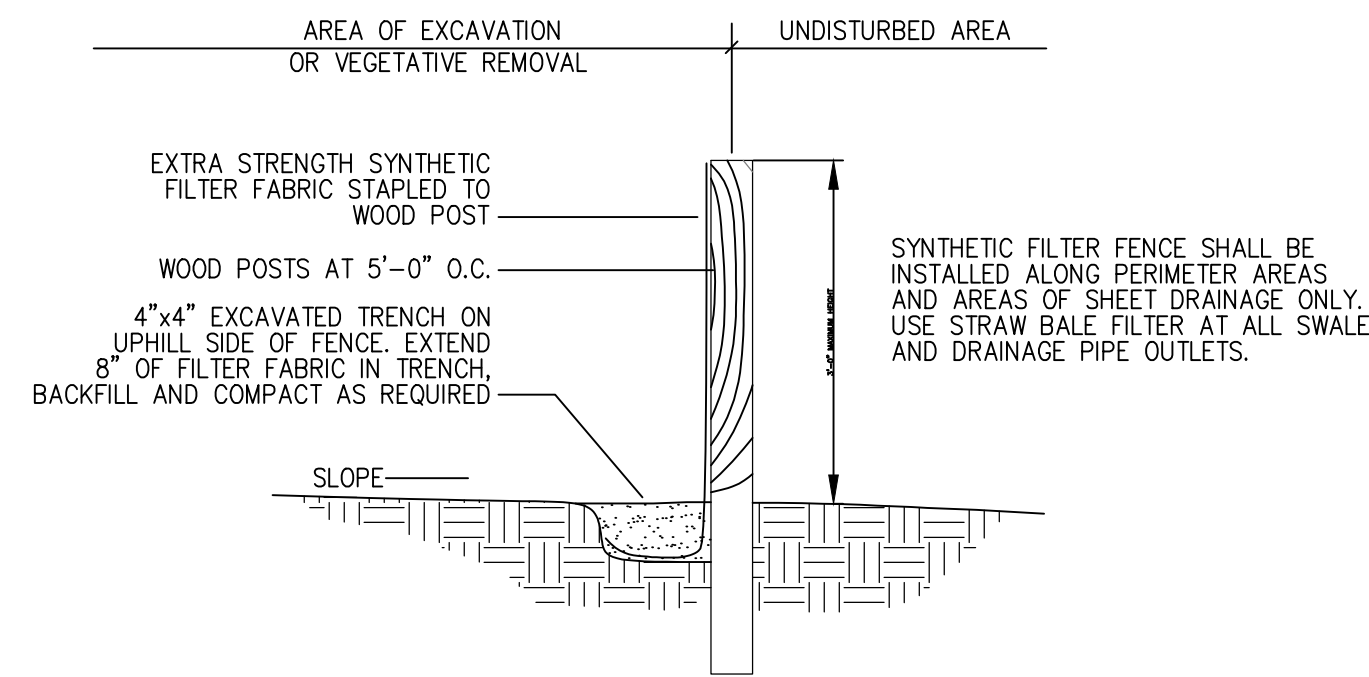
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 SPIRITUAL CENTER FACILITY IMPROVEMENT PLAN  
 1445 HOFFMAN STREET, HAMMOND, IN 46327  
**GRADING & DRAINAGE PLAN**

|                     |
|---------------------|
| PROJECT: A018-19013 |
| DATE: 02/05/2019    |
| DESIGN BY: J.J.H.   |
| DRAWN BY: J.J.H.    |

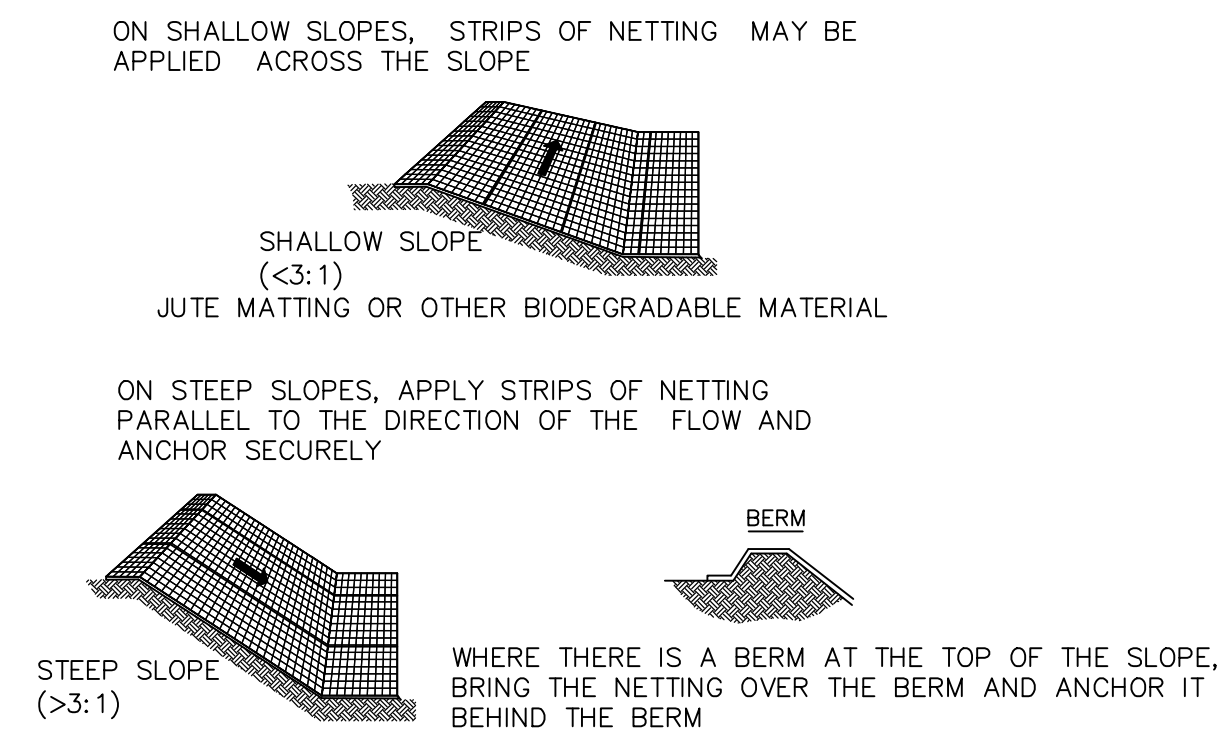
GARY A. RADTKE  
 REGISTERED PROFESSIONAL ENGINEER  
 No. 60900188  
 STATE OF INDIANA

SHEET **C5.0** OF 7

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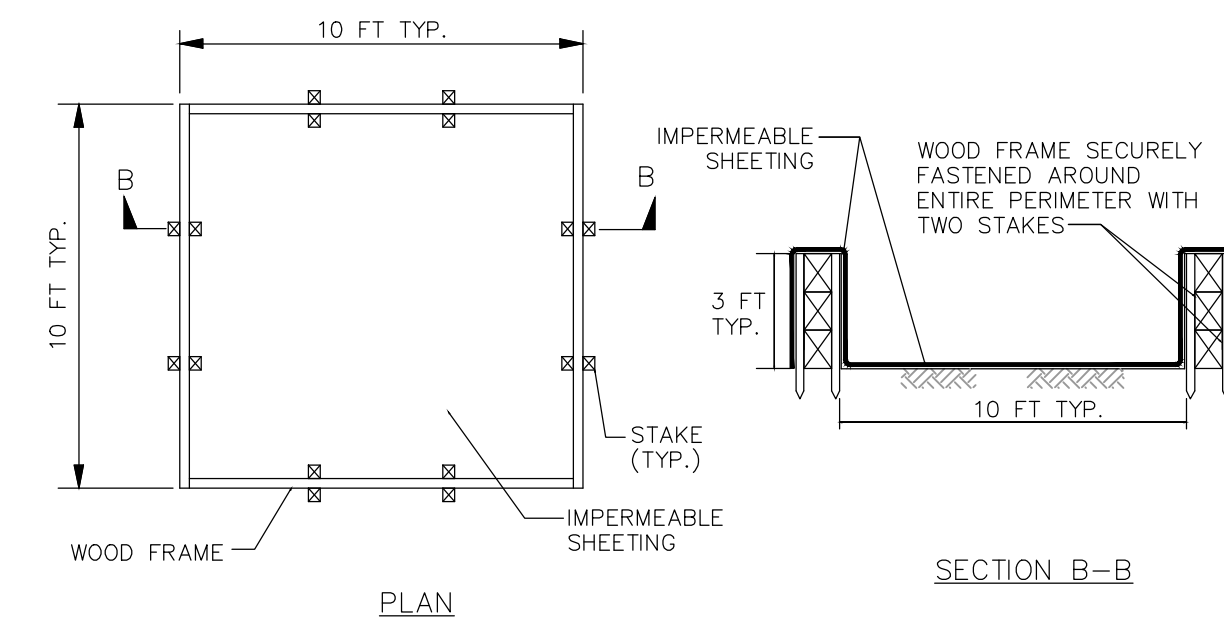


1 **SEDIMENT FENCE DETAIL**  
Scale: N/A



2 **EROSION CONTROL BLANKET**  
Scale: N/A

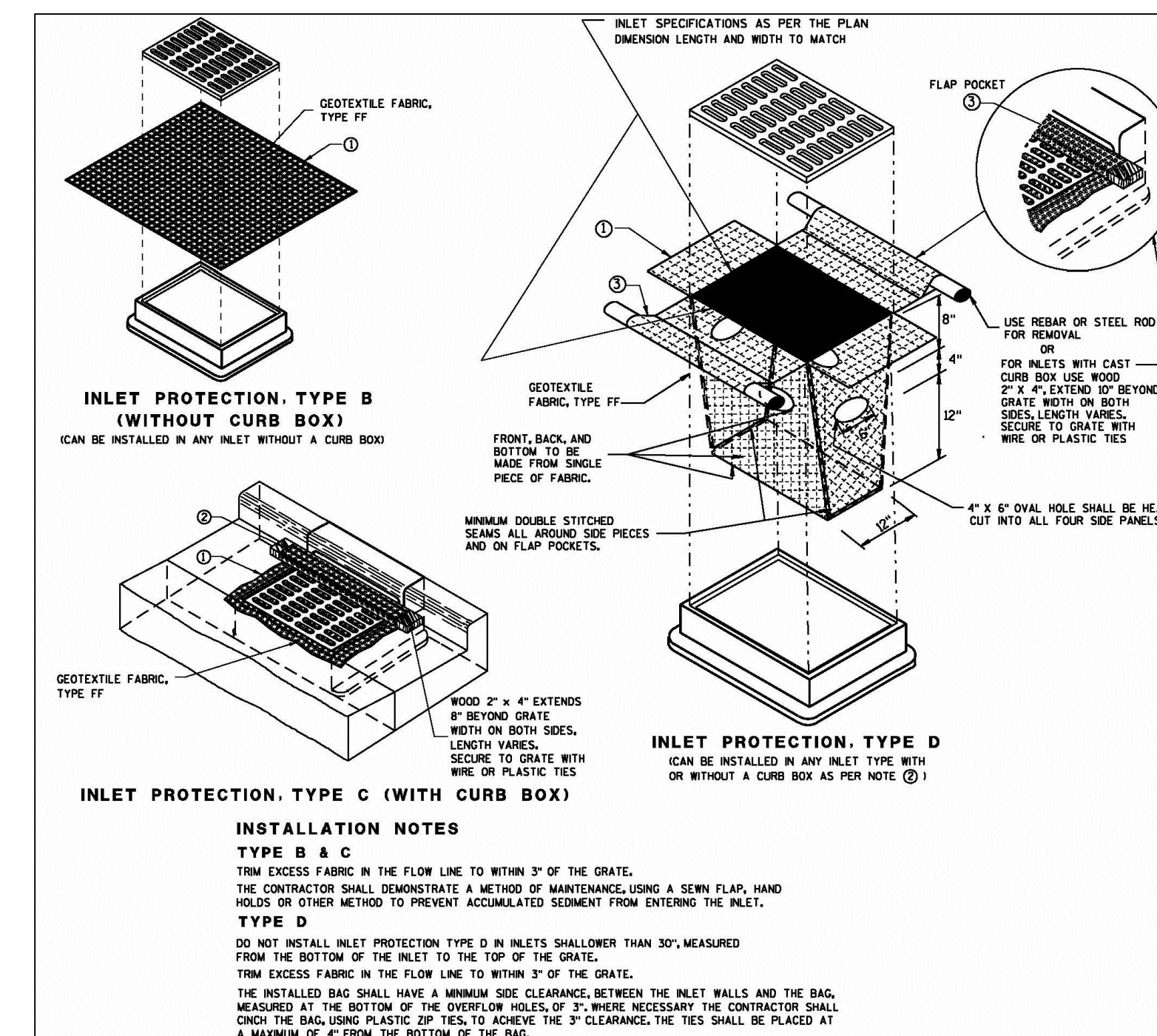
- NOTES:
- PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MATTING, ALL ROCKS, DIRT CLODS, STUMPS, ROOTS, TRASH, AND ANY OTHER OBSTRUCTIONS WHICH WOULD PREVENT THE MAT FROM LAYING IN DIRECT CONTACT WITH THE SOIL, SHALL BE REMOVED.
  - THE MATTING SHALL BE ANCHORED ALONG ITS ENTIRE PERIMETER WITH A 6"x6" ANCHOR TRENCH. AFTER MATING IS ANCHORED IN TRENCH, BACK FILL AND COMPACT WITH SOIL OR GRAVEL.
  - THE MATING SHALL BE ANCHORED TO THE GROUND USING 10 GAGE WIRE STAPLES 6" IN LENGTH BY 1" WIDE WITH A COVERAGE NOT LESS THAN 1 STAPLE PER EVERY 4 SQUARE FEET OF MATTING.
  - INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED GUIDELINES
  - EROSION CONTROL MATTING SHALL BE ONE OF THE FOLLOWING:
    - JUTE MAT COMPOSED OF JUTE YARN WEAVE IN A BASIC MANNER AND FREE OF ANY DYE, AND HAVING MIN. UNIT WEIGHT OF 2.7 LBS. PER SQ. YD.
    - WOOD FIBER MAT COMPOSED OF WOOD FIBERS ENCASED IN A NETTING MADE OF NYLON, COTTON OR SIMILAR MATERIAL AND HAVING A MIN. UNIT WEIGHT OF 1.0 LBS. PER SQ. YD.
    - SYNTHETIC WEBBING MAT MADE OF POLYVINYL CHLORIDE POLYPROPYLENE MONOFILAMENTS HAVING A MIN. UNIT WEIGHT OF 11 OUNCES PER SQ. YD. AND A MIN. TENSILE STRENGTH OF 25 LBS. IN ALL DIRECTIONS. (ASTM D-1682.64)
  - MATED AREAS MUST BE INSPECTED ON A WEEKLY BASIS, AND AFTER EACH SIGNIFICANT RAINFALL, BARE SPOTS, MISSING OR LOOSENED MATTING MUST BE IMMEDIATELY REPLACED AND / OR RE-ANCHORED.
  - STAPLES SHALL BE REMOVED FROM THE GROUND ONCE THE THREAT OF EROSION'S PASSED AND PERMANENT VEGETATION HAS BEEN ESTABLISHED.



**CONSTRUCTION SPECIFICATIONS**

- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
- SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
- PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
- PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
- KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED). EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER, WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

3 **CONCRETE WASH OUT**  
Scale: N/A



4 **STORM INLET PROTECTION DETAILS**  
Scale: N/A

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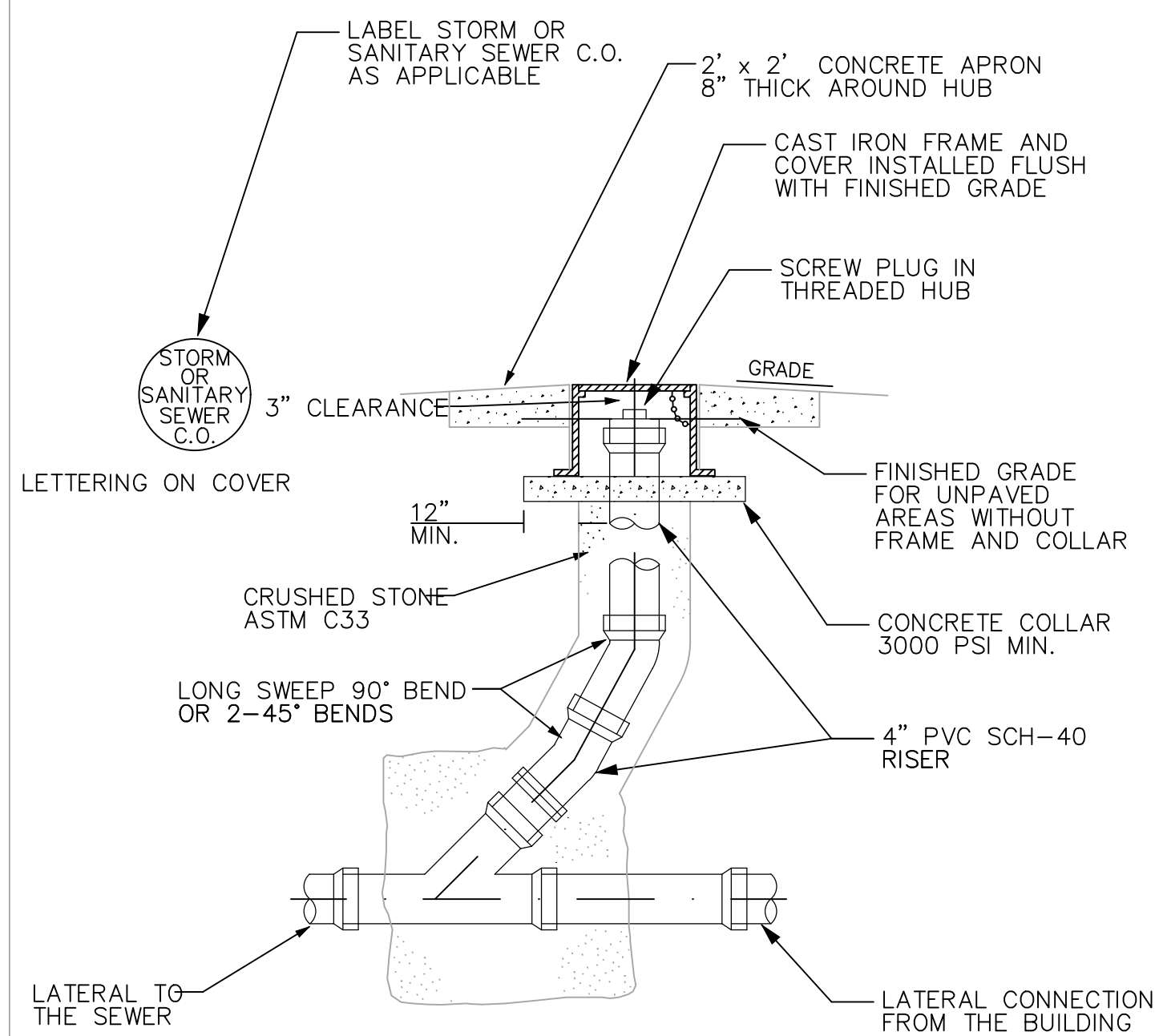
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1445 HOFFMAN STREET, HAMMOND, IN 46327  
**SOIL EROSION CONTROL DETAILS**

|                       |                    |                    |                   |
|-----------------------|--------------------|--------------------|-------------------|
| PROJECT<br>A019-18013 | DATE<br>02/09/2019 | DESIGN BY:<br>J/JH | DRAWN BY:<br>J/JH |
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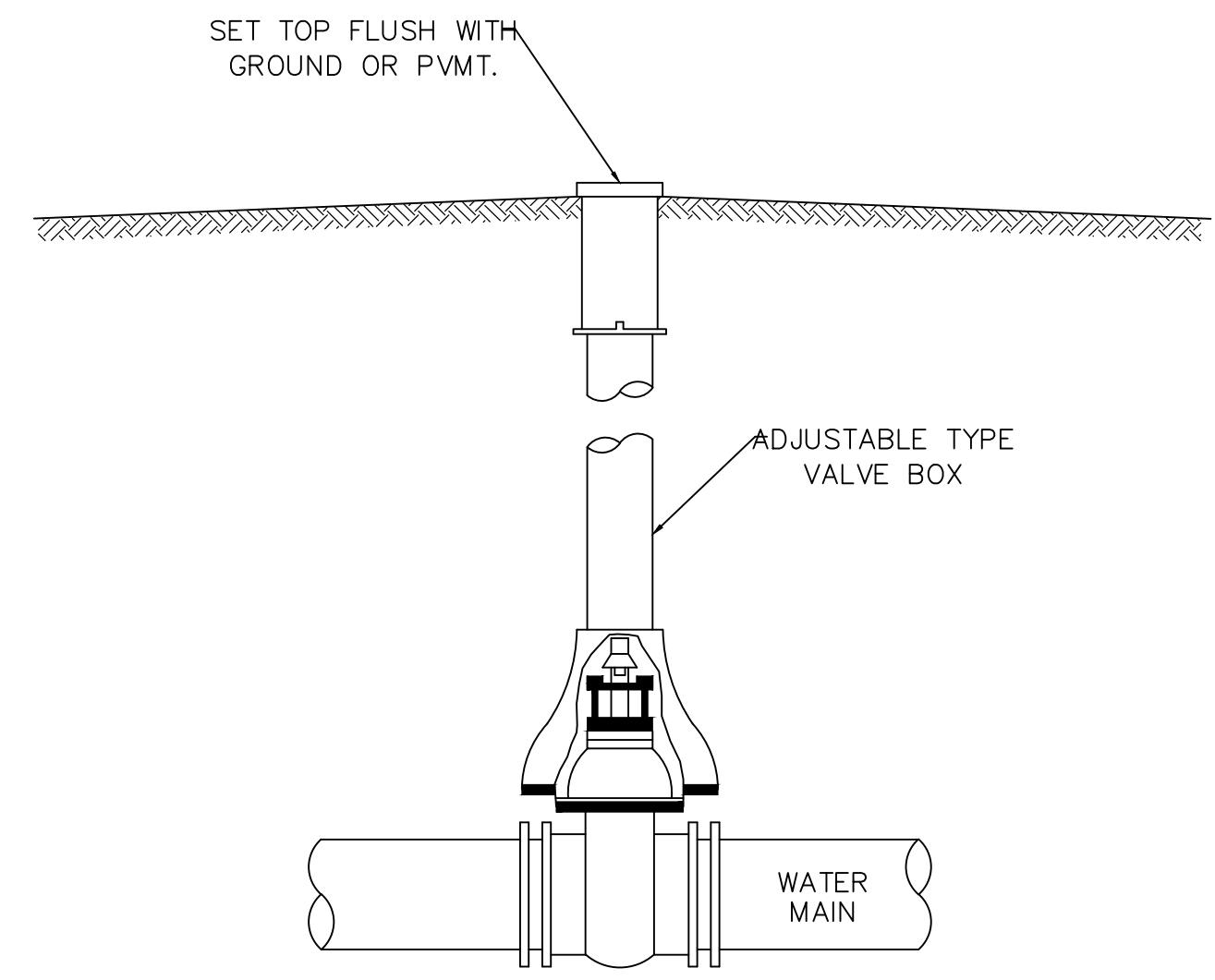
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PROFESSIONAL ENGINEER

SHEET  
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SHEET 6 OF 7

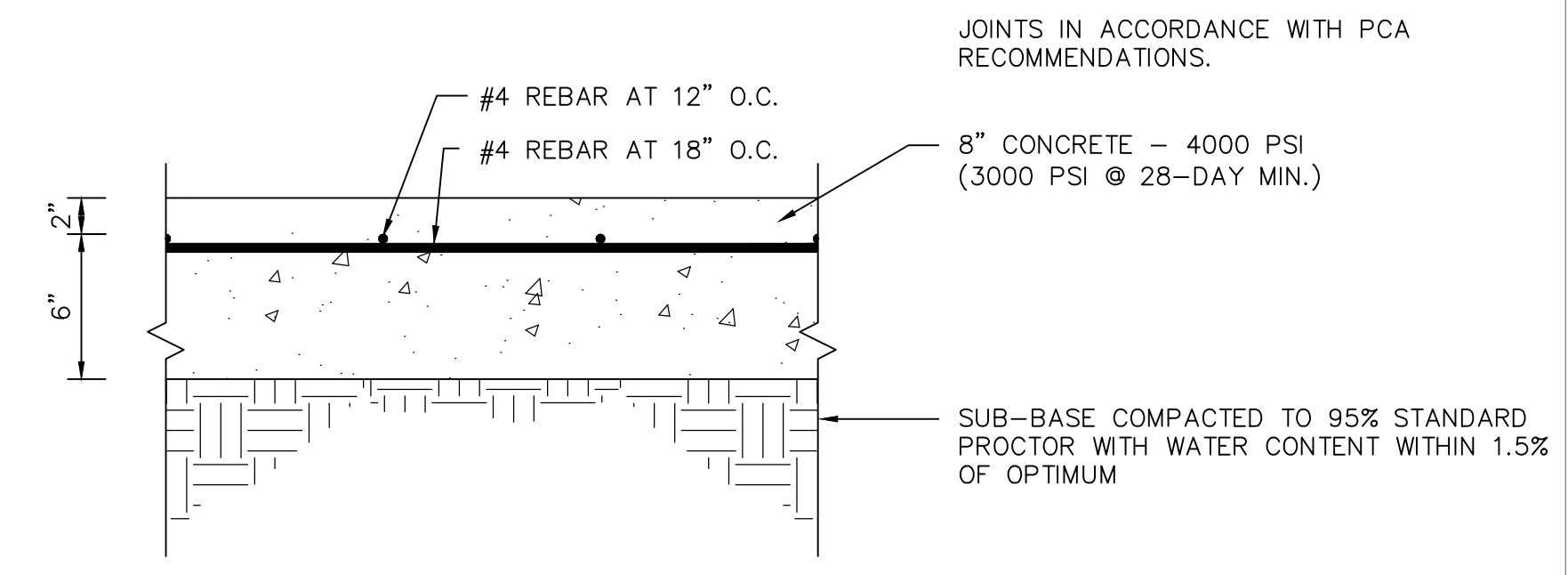
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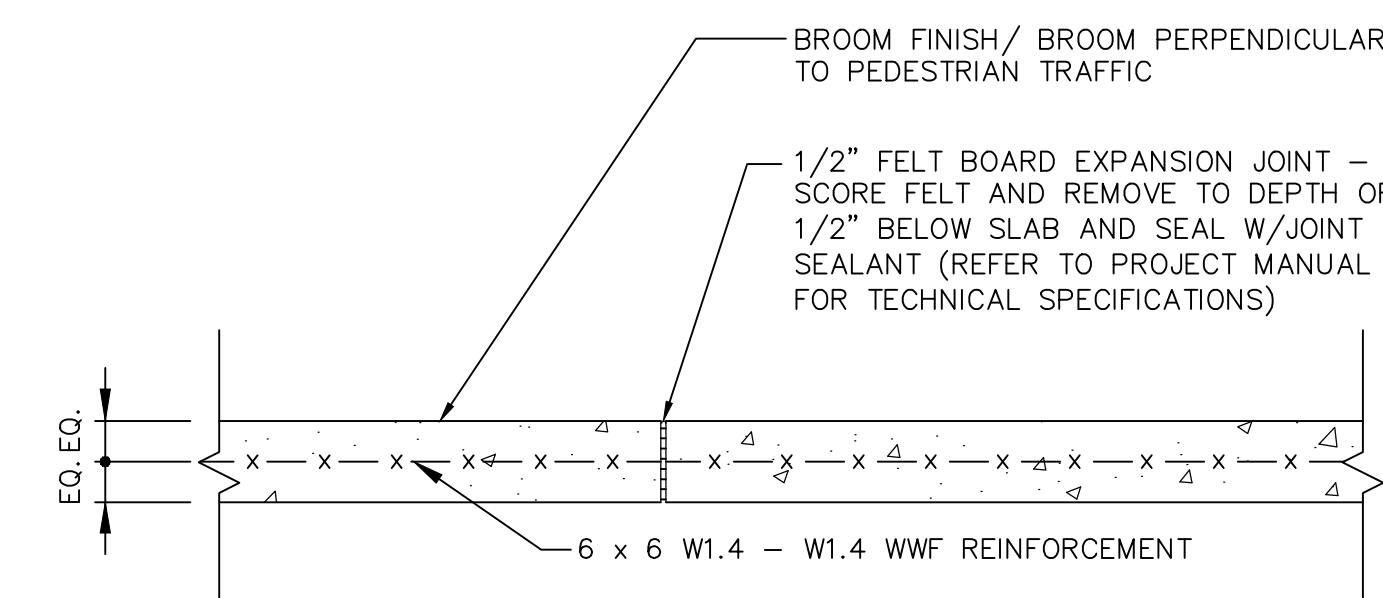
01 CLEANOUT DETAIL  
C7.0 NONE



02 GATE VALVE W/BOX  
C7.0 NONE

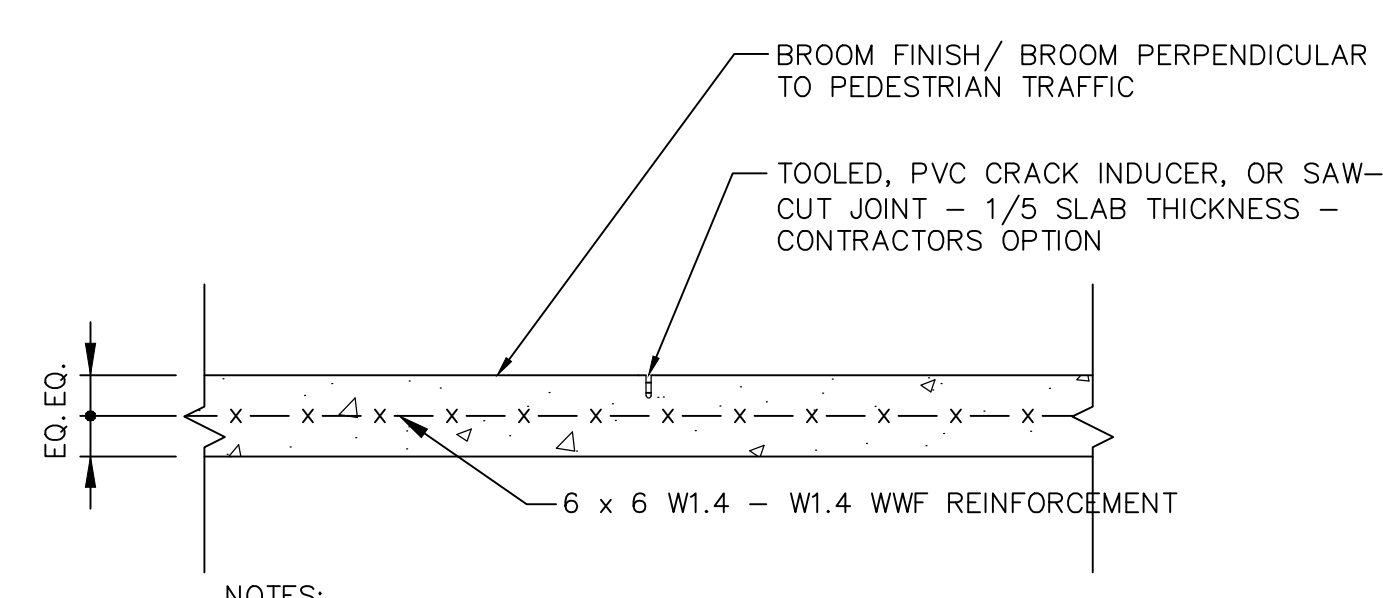


03 CONCRETE PAVEMENT SECTION  
C7.0 NOT TO SCALE



- NOTES:
1. PROVIDE CRACK CONTROL JOINTS IN SIDEWALKS EVENLY SPACED AT 5'-0" O.C. MAXIMUM, WITH EVERY FOURTH JOINT TO BE AN EXPANSION JOINT.
  2. JOINT MUST BE CUT WITHIN 24 HOURS OF POURING CONCRETE IF CONTRACTOR ELECTS TO SAW-CUT JOINT.

04 EXPANSION JOINT DETAIL  
C7.0 NOT TO SCALE © ALL CONCRETE AREAS



- NOTES:
1. PROVIDE CRACK CONTROL JOINTS IN SIDEWALKS EVENLY SPACED AT 5'-0" O.C. MAXIMUM, WITH EVERY FOURTH JOINT TO BE AN EXPANSION JOINT.
  2. JOINT MUST BE CUT WITHIN 24 HOURS OF POURING CONCRETE IF CONTRACTOR ELECTS TO SAW-CUT JOINT.

05 CRACK CONTROL JOINT DETAIL  
C7.0 NOT TO SCALE © ALL CONCRETE AREAS

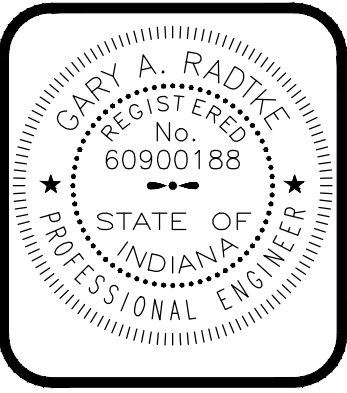
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**CONSTRUCTION DETAILS**

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| DESIGN BY: | JJH        |
| DRAWN BY:  | JJH        |



SHEET  
**C7.0**  
SHEET 7 OF 7

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